

3.0 *CITY POINT*: City Point is of new build construction with four floors above a basement garage.

It is divided into four sections each having communal entrance, stairwell lift and access voids.

Leading off from the rear are decked areas with stairs down to the rear section and there is a basement garage with drive-in access to the left hand side.

### 3.1 External

#### *Front Elevation*



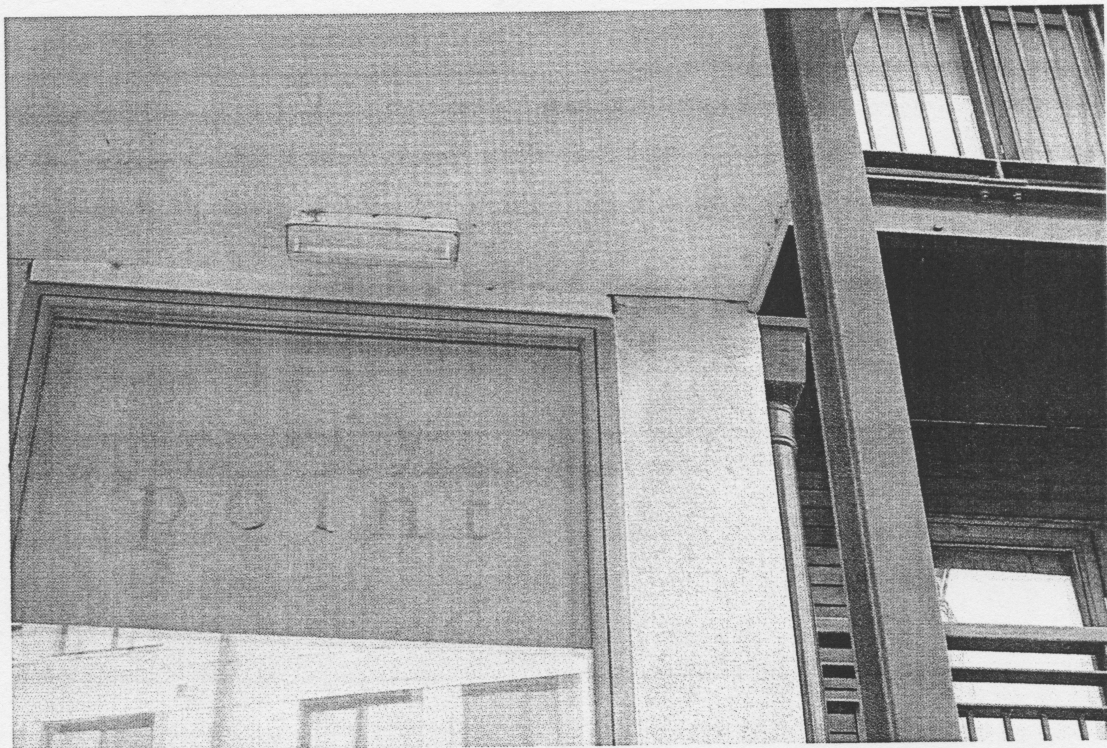
There are composite finishes to the external elevations with brick cavity panels, rendered (believed concrete or block construction) and horizontal boarding to the balconies.

The communal circulation areas are render onto block or brickwork with porch canopy roofs off steel posts.

The main roof is believed pitched with intermediate parapet walls and the doors and windows are powder coated aluminium with timber to the balconies.

*Specific Defects:* There is significant run-off and staining of brickwork beneath the coping stones of the various intermediate parapets.

The quality of cut to the angle trims to the external angles of the upper fascia is very poor, the fascia is misaligned and the line through at the base of the cuts is irregular. This fascia appears simply to be a strip of metal with no apparent welt to the base and certainly on staircase C there are signs of detachment of the render and patch repairs immediately beneath.

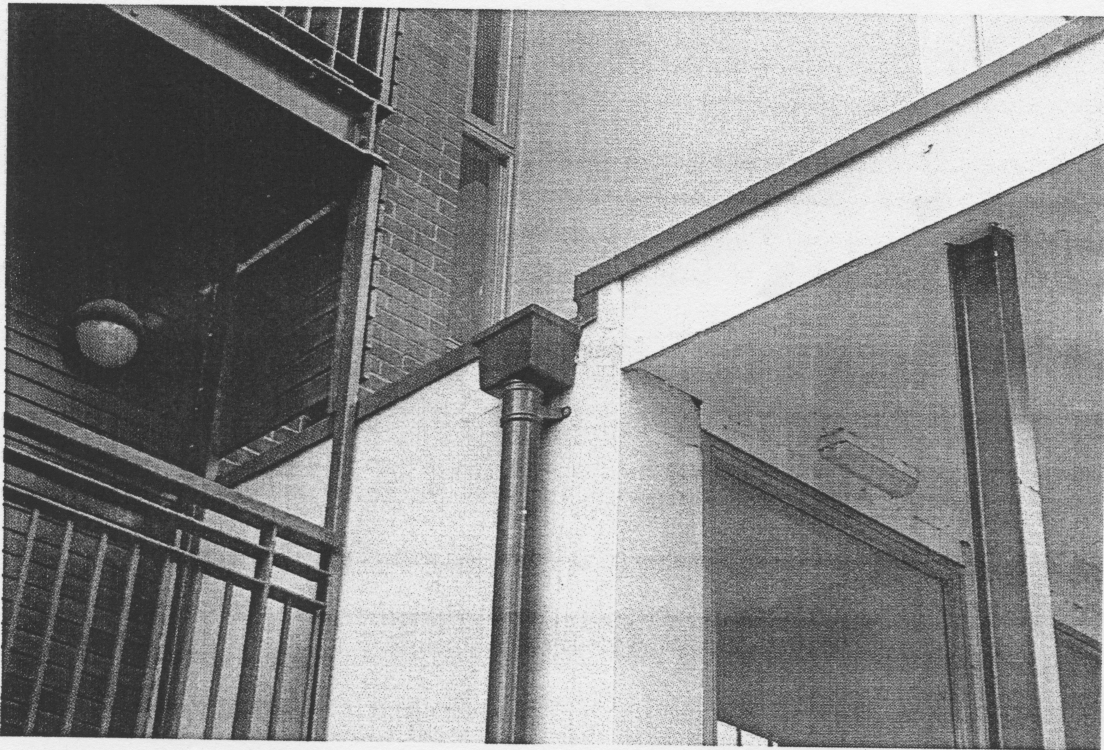


I was advised and noted that the rainwater discharges via hopper heads onto the flat roof of the various canopy entrances and is then collected and discharged via further hopper heads to the underground drainage.

There are problems here with overflowing in periods of heavy rainfall and it would appear that in some locations the fall of the roofs have been incorporated to the full depth of the roof, rather than laying with a horizontal flat soffit and furring strips above.

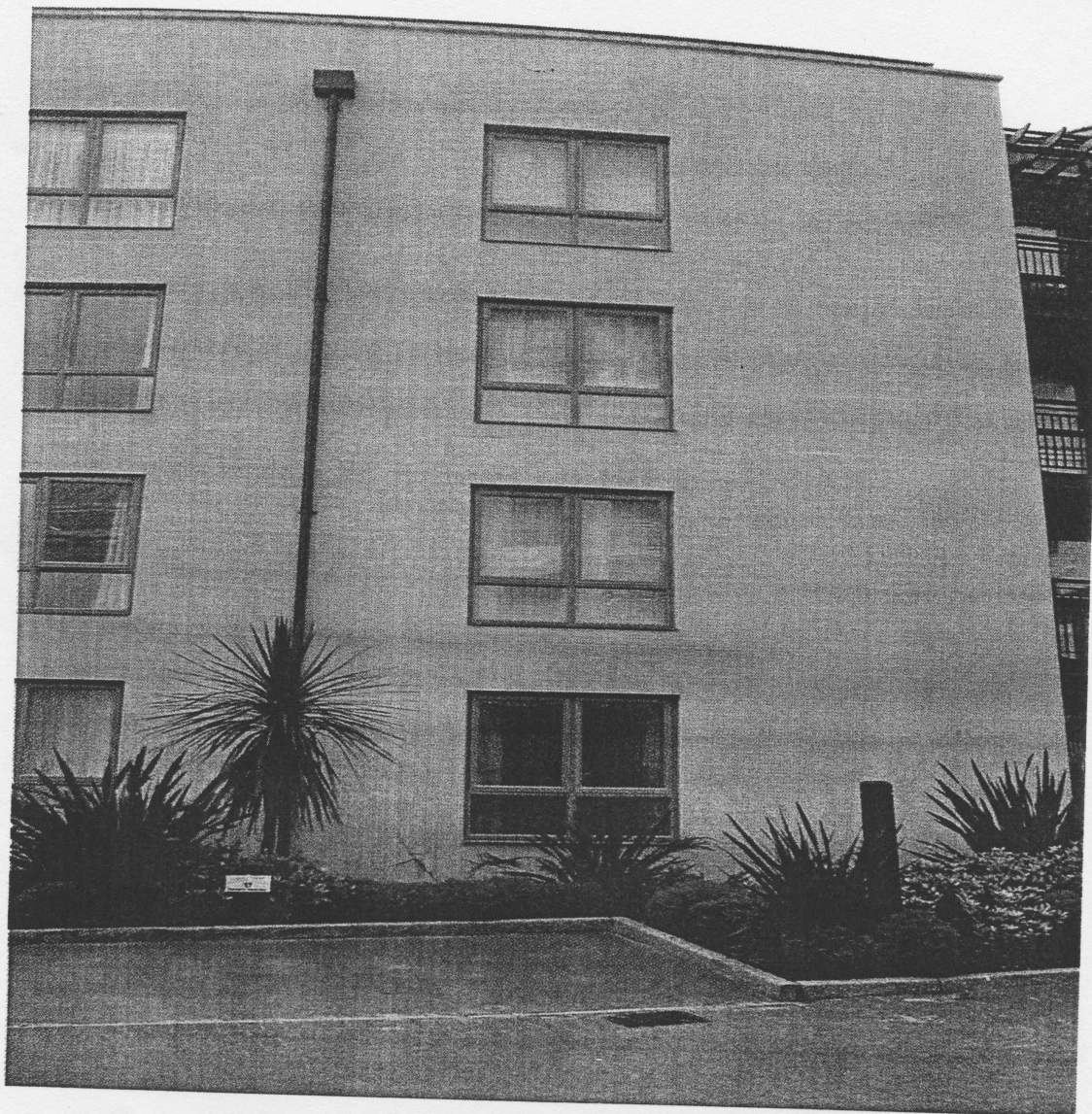
The quality of brickwork leaves something to be desired, particularly the cut ups to the raking parapets at roof level and also the brickwork immediately beneath the concrete copings to the upper landing areas.

There is evidence of poor patch repairs around the outlets to the hopper heads in the render to the canopies and also of weather penetration overflowing and staining to the upper sections.



A number of rainwater pipes are displaced with bends due to improper positioning of the underground drainage connection relative to the brackets where fixed to the walls.

*The quality of workmanship:* Expansion joints in the panels of render are irregular both horizontally and vertically in terms of finish and sealant strips are becoming displaced. Some cracking has occurred to the front elevation on the curved section between windows visible from ground level from ground to first, first to second and second to third floor levels.



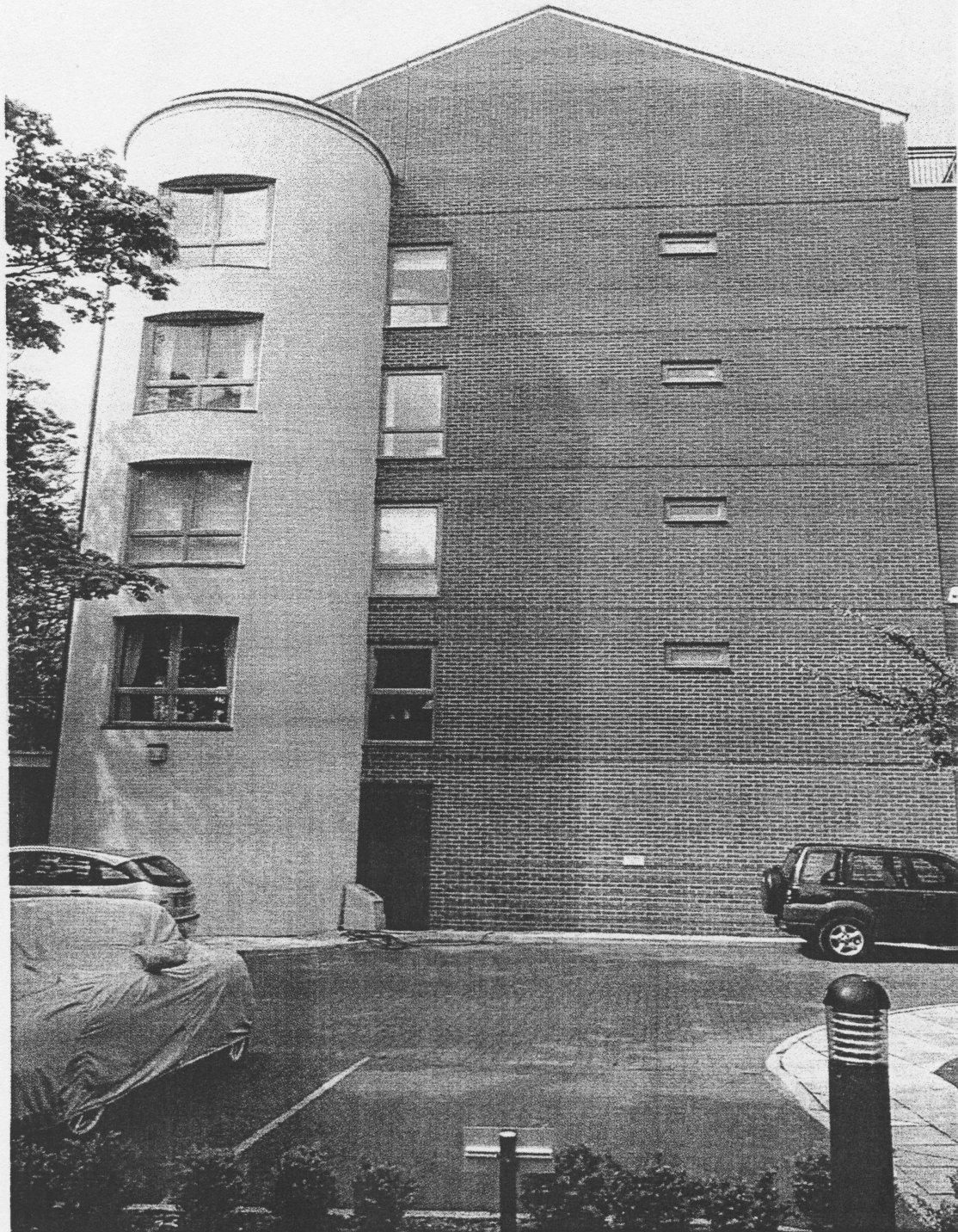
The render is becoming stained due to run-off from cill ends of the various windows.



To the lower parking area for bays 5,6 and 29, the coping stone has an inadequate overhang to the end and there is no floating, therefore, there is some rainwater discharging down the face in various locations causing staining.

There is physical damage or poor quality of finish to the render finish to the extreme left hand render panel above the garage entrance.

*LeftHandGableWall*



There is significant stain due to run-off from the parapet coping stones, this is causing damage and aesthetic disturbance to the upper sections of brickwork.

The curved rendered section to the end, again has irregular finish and seals to the horizontal joints.

The overall standard of finish here is somewhat inferior to that of the front elevation and particularly to the cill ends to the first and second and third floor windows their finish is generally irregular.

Again the bottom section of rainwater pipe is slightly displaced relative to the bracketed sections above.



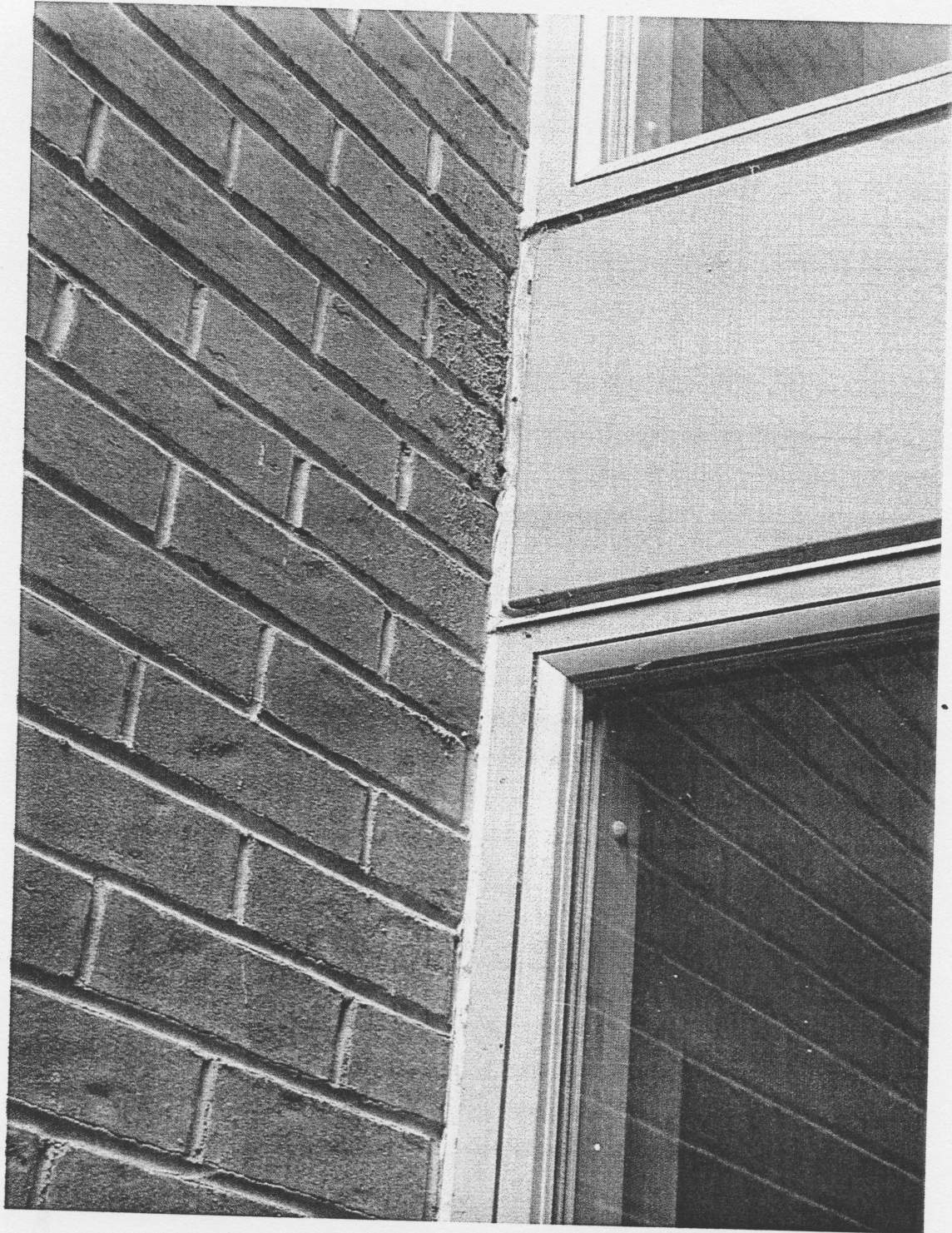
*Rear Elevation*



This follows similar layout and construction to the front although there are recessed set back entrances and exits to the common areas. Access from the basement gravel area is by timber decking.

The rear framing to the common areas is of what appears to be powder coated aluminium with curtain walling panels above.

There are deep fascia panels at intermediate floor levels.





The quality of mastic pointing at the abutment of the panels to the brick walls either side is extremely poor and it is believed that there is weather ingress occurring in various staircases, particularly to the ground floor at ceiling level.



The decking has apparently been giving problems with water ingress to the edges of the steps.



A number of the decking boards are loose and rattle underfoot. The standard of cutting out of the edges is very poor and irregular.

*Extreme Right Hand Elevation:* This abuts an adjoining development and was not accessible to inspect. There is a void to the right hand side with fine mesh grill but this is loose, particularly the bottom panel and requires re-securing.

### 3.2 Internal

*3.2.1 Staircase/Area A:* The entrance is of brick and concrete paving slabs laid to falls with ponding immediately beneath the glazed screen to the left hand side.

In addition, the sealing strip to the glazed obscure unit is detached.

*Ground Floor:* Where the ceiling sets down adjacent to the emergency lighting, there is a crack across the full width and this crack continues in the vertical plane to the right hand side where there is a recessed pier.

There is a dip in the floor immediately beyond the matwell.

The overall perception of the floor is that it is out of level and damaged.

There is evidence of weather penetration above the head rail of the rear exit doors.

There are a series of cracks in the ceiling and beyond the stairvoid.

Plaster is very irregular in the vertical plane with a strip becoming detached to the right hand side immediately forward of the heater unit.

There was a vertical crack adjacent to the main entrance door and one missing screw to the doorlock keep.

*First Floor Level:* There was general shrinkage cracking to the sloping cleft of the staircase where attached to the wall on the left hand side.

Further cracks have developed to the side of the glazed screen of the rear building.